STANDARD SPECIFICATION

BE ADVISED: SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND UNLESS OTHERWISE STATED ON THE PLANS SHALL BE NEW AND THE BEST OF THE THEIR RESPECTIVE KIND AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORM PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT"
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS
- ENSURE THAT SUBSTRATES ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE SUBSTRATES IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE SUBSTRATES ON WHICH FINISHES ARE APPLIED.
- 1.8 CONTRACTOR IS TO SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF THE RESPECTIVE WORKS.
- 1.9 CONTRACTOR IS RESPONSIBLE FOR THE PROGRESSIVE CLEAN UP DURING AND AFTER THE COMPLETION OF RESPECTIVE WORKS

2.0 EARTHWORKS

- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR BUILDER. PROVIDE SUITABLE CLEAN FILL AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN
- 2.2 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGLE OF 45 DEGREES DOWN FROM THE BOTTOM EDGE OF THE FOOTING.
- 2.3 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT

3.0 CONCRETE

- 3.1 ALL CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870
- 3.3 PROVIDE A PROPRIETARY VAPOUR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

4.0 TERMITE PROTECTION:

- PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057. AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.
- 42 BUILDER SHALL PROVIDE "BIFLEX" OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES

5.0 BRICKWORK

5.1 BRICK WORK SHALL COMPLY WITH:

AS 3700 MASONRY CODE AS A123 MASONRY CODE

MORTAR FOR MASONRY CONSTRUCTION

- BRICK GAUGE 7 STANDARD COURSES = 600mm
- TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF OPENINGS, BUILD TIES INTO EACH LEAF AT LEAST 50mm.
- 5.4 VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH A CONTINUOUS FILLER STRIP.
- CAVITIES TO BE KEPT CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHING AND CAVITY FILL KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHING.
- PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK.
- SETOUT BRICKWORK ACCURATELY, PLUMP, LEVEL AND PROPERLY BONDED, RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC TO BE TRUE, PLUMB AND IN LINE WITH PERPENDS TRUE LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MERGIN OF 12mm OR GREATER THAN 50mm
- PROVIDE 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.

- 5.11 BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:
 - WHEREVER SHOWN ON DRAWINGS
 - CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED)
 - OVER LINTELS TO EXPOSED OPENINGS EXTEND THE FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE
 - OVER ROOF EXTEND THE FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.
 - DOOR/WINDOW STILES EXTEND THE FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
 - STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY: VERTICAL FLASHING CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300m
 - FOR HORIZONTAL STRUCTURES/SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS
 - AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAF.
- 5.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.
- 5.13 UNLESS OTHERWISE SHOWN ON DRAWINGS FXTERNAL FACE WORK: 230x110x76mm WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS WINDOW HEADS: SOLID FACEBRICK COURSE

6.0 LINTELS

MAX SPAN	LINTELS SIZE	BEARING
(mm)	(VERT x HORIZ x THICK)	EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

7.0 CARPENTRY WORK

- ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV CLOUTS/STRAP
- REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS
- SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

8.0 ROOFING

- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 8.2 GUTTER, FASCIA, DOWNPIPES, FLASHING SHALL BE IN LONGEST POSSIBLE LENGTHS
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHING, FLUMES THROUGH ROOF
- FIX GUTTERS & FLASHING TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH 8.5
- SEAL BETWEEN OVERLAPPING FLASHING; FLASHING TURNED DOWN OVER BASE OR APRON FLASHING; FLASHING OVER METAL ROOF; FLASHING OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

9.0 WINDOWS/GLAZING

- UNLESS OTHERWISE STATED ON THE DRAWINGS WINDOW FRAMES SHALL BE ALUMINIUM RESIDENTIAL OR COMMERCIAL IN SECTION WITH POWDERCOAT FINISH AS SELECTED BY
- ALLOW FOR FLYSCREENS TO BE FITTED TO ALL WINDOWS.
 - ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS A COMPLETE UNIT.
- WHERE RELEVANT WINDOWS ARE TO COMPLY WITH THE SPECIFICATIONS PROVIDED BY THE 9.4 THERMAL PERFORMANCE ASSESSOR.
- CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS.
- WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

10.0 JOINERY

- 10.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 10.2 EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 10.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

11.111.0 CEILINGS

- CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES
- PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS SHOWN ON THE

12.112.0 PLASTERING

INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN & FRIDGE RECESSES ETC SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.

PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER

- 12.4 SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING).
- NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

13.1 13.0 FLOORING FINISHES

CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE

PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, ANGLE TRIMS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES

PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED AND POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS AND FINISHES SCHEDULE.

14.1 14.0 SIGNAGE

WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.

"SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS

15.1 **15.0 PAVING**

GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD

- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS. CUT, FILL & COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND
- PROVIDE BRICK EDGE RETAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING
- TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.

15.2

PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN

SAND AND GRADE TO FALLS.

UNLESS NOTED PAVING PATTERN IS TO CLIENTS DETAIL TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

16.0 ENERGY EFFICIENCY

- INSULATION MUST FORM A CONTINUOUS BARRIER WITH CEILINGS, WALLS AND FLOORS BY ABUTTING OR OVERLAPPING ADJOINING INSULATION
- INSULATION MUST NOT ADVERSELY AFFECT DOMESTIC SERVICES OR FITTINGS

REFLECTIVE INSULATION IS TO BE PROVIDED WITH A MINIMUM 25mm AIRSPACE AND IS FITTED CLOSE TO OPENINGS SUCH AS WINDOWS/DOORS ETC. AND IS PROVIDED WITH ADEQUATE SUPPORT

- BULK INSULATION MUST MAINTAIN ITS POSITION, THICKNESS. ENSURE THAT CEILING INSULATION OVERLAPS UN-INSULATED WALLS CONSTRUCTION JOINTS, SUCH AS BETWEEN WALL AND FLOOR, ARE TO BE TIGHT FITTING OR
- 16.7 EXHAUST FANS ARE TO BE FITTED WITH A SELF CLOSING DAMPER
- 16.8 ROOF LIGHTS MUST BE SEALED WITH WEATHERPROOF SEALS
- HEATED WATER PIPING MUST BE THERMALLY INSULATED AND PROTECTED AGAINST THE

SEALED USING CAULKING OR JOINERY ITEMS SUCH AS SKIRTING OR CORNICES

WEATHER AND SUN 16.10 INTERNAL HEATED WATER PIPING TO HAVE AN R VALUE OF 0.2

ENCLOSED SUB-FLOOR AND ROOF SPACE TO HAVE AN R VALUE OF 0.45

RENOVATIONS 0403 132 106

info@femmebuild.com.au

DRAWING SCHEDULE

ARCHITECTURAL SPECIFICATION

PROPOSED DEMOLITION PLAN

A 01 1 PROPOSED SITE PLAN

PROPOSED SITE ANALYSIS PLAN

PROPOSED CONCEPT STORMWATER PLAN PROPOSED SEDIMENT EROSION CONTROL PLAN A 013

A.01.4 A 01.5 PROPOSED LANDSCAPE PLAN

A.01.6 PROPOSED SUBDIVISION PLAN

A.02.1 PROPOSED GROUND FLOOR PLAN A.02.2 PROPOSED FIRST FLOOR PLAN

A.02.3 PROPOSED ROOF PLAN

A.03.1 PROPOSED ELEVATIONS PROPOSED ELEVATIONS

PROPOSED SECTION & DETAILS PROPOSED UNIT 1 SHADOW DIAGRAMS A.04.1

A 06 2 PROPOSED UNIT 2 SHADOW DIAGRAMS PROPOSED BASIX COMMITMENTS

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DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD REVESBY HEIGHTS

LIVINGSTON HOMES

ARCHITECTURAL

SPECIFICATION

SK DESIGNED FB

FΒ JULY 2024

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BUILDING DESIGNER ACCREDITATION NUMBER: 6613 - MEMBER NUMBER 6763-2

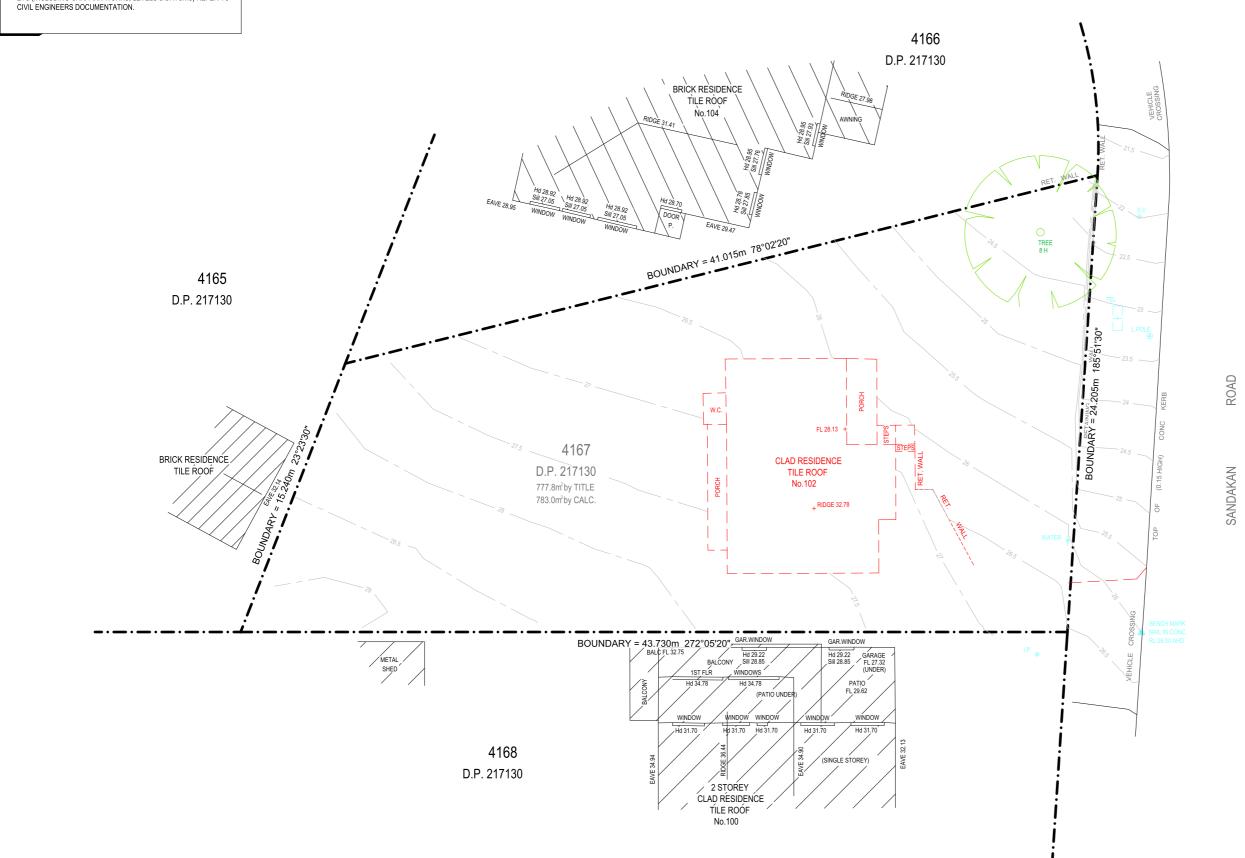
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03

SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE
 PRIOR TO COMMENCEMENT OF ANY WORK.
 EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED
 AND MADE GOOD AS NECESSARY.
- THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS.
- LOCATIONS.
 THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
 THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO

PROPOSED DEMOLITION PLAN



REVISION

FB0077 A.01.0

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DEVELOPMENT APP.

DETACHED DUAL-OCC 102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

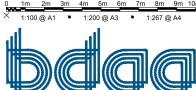
PROPOSED **DEMOLITION PLAN**

SK DESIGNED

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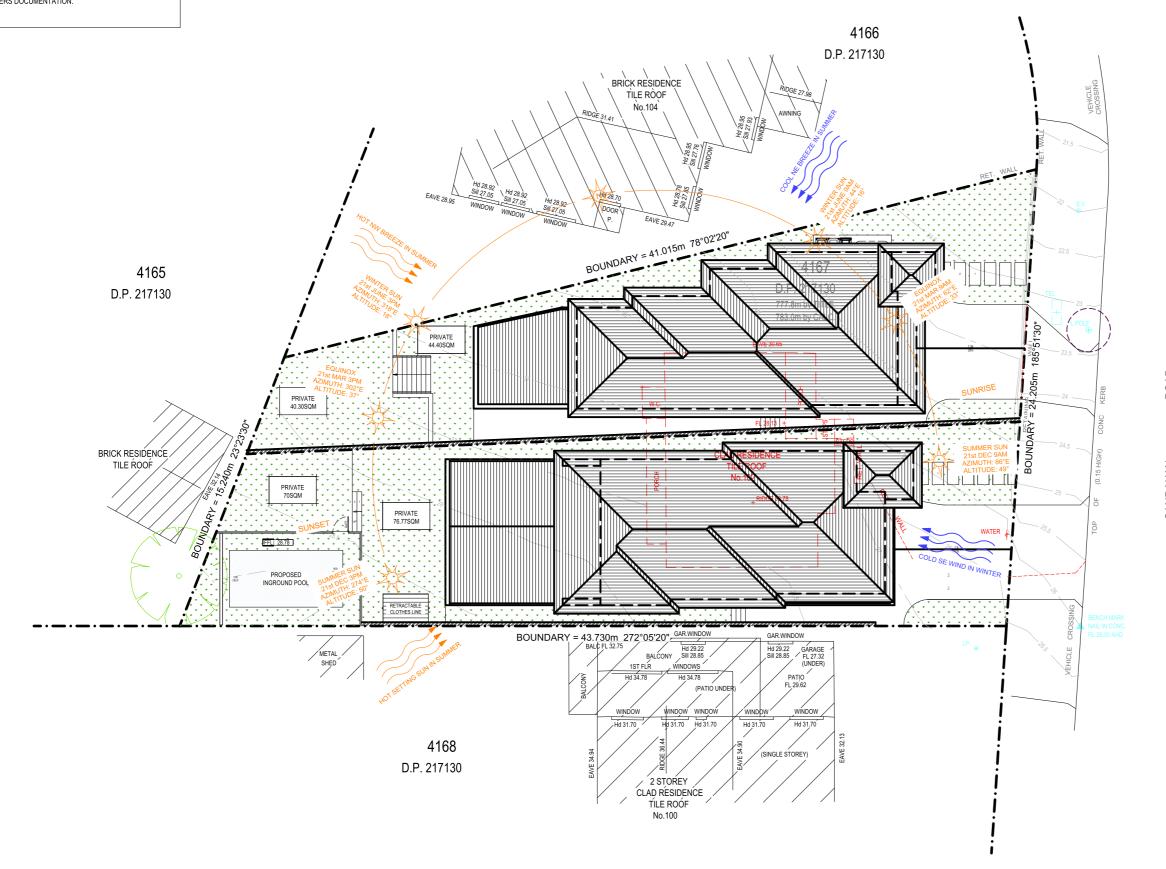


ACCREDITED BUILDING DESIGNER

SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE
- PRIOR TO COMMENCEMENT OF ANY WORK.

 EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
- THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE
- SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO CIVIL ENGINEERS DOCUMENTATION.



PROPOSED SITE ANALYSIS PLAN

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DETACHED DUAL-OCC 102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

PROPOSED SITE ANALYSIS PLAN

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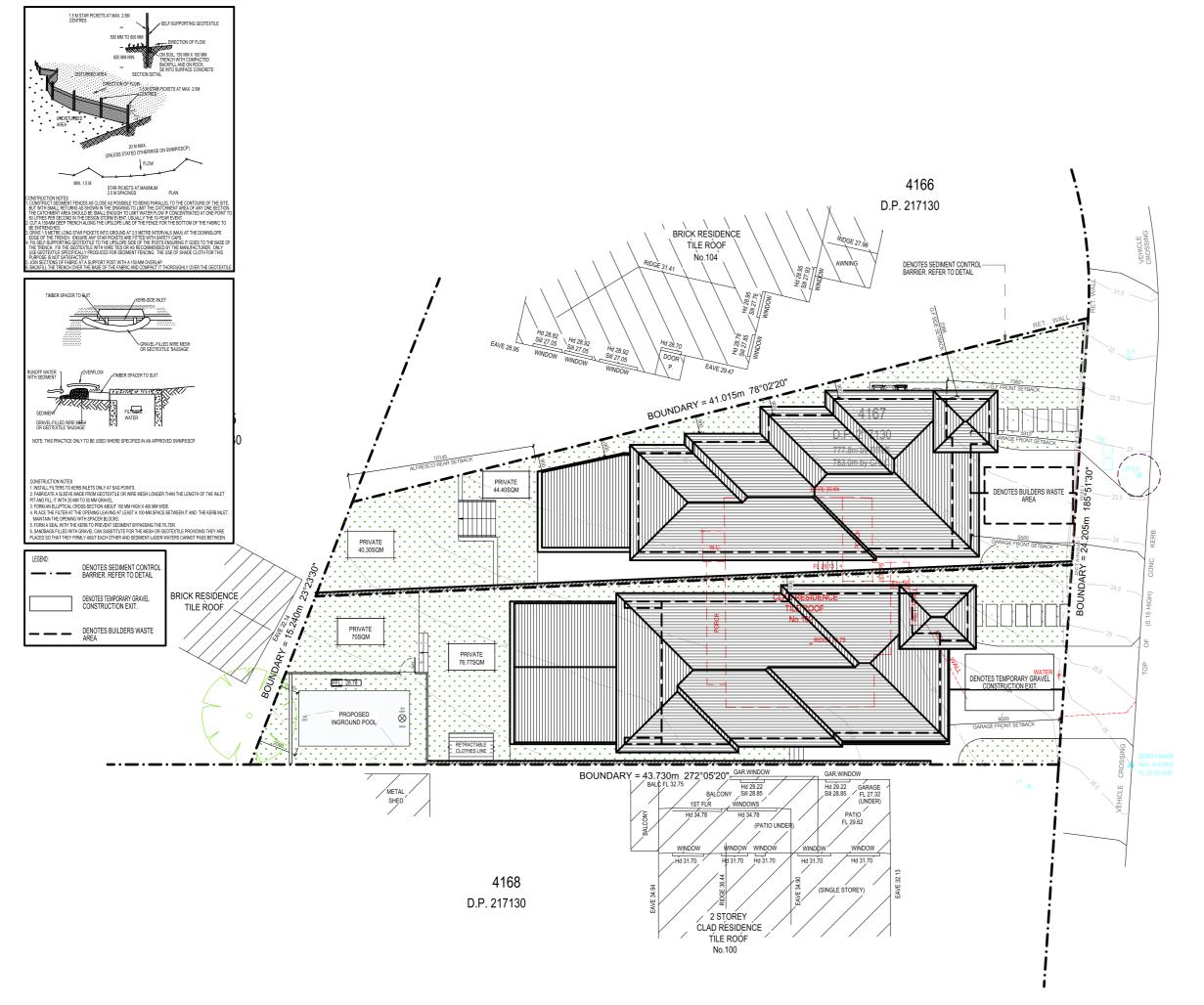
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SEDIMENT CONTROL



PROPOSED SEDIMENT EROSION CONTROL PLAN

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DEVELOPMENT APP.

DETACHED DUAL-OCC 102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

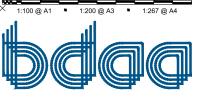
PROPOSED SEDIMENT **EROSION CONTROL PLAN**

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ACCREDITED BUILDING DESIGNER

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SITE INFORMATION SITE NOTES CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK. SITE AREA 783m² (BY CALC) EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY. PROPOSED SITE AREA PROPOSED RESIDENCE G. FLOOR 417m² THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS. 102.77m² GARAGE ALFRESCO 30.34m² 29.85m² THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN **89.83m²** 6.48m² PROPOSED RESIDENCE F.FLOOR THAT ALL EXISTING SERVICES ARE SHOWN. THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED. BALCONIES TOTAL FLOOR AREA 192.60m² BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE. PROPOSED SITE AREA PROPOSED RESIDENCE G. FLOOR **366m² 88.45m²** 30.34m² REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO GARAGE ALFRESCO CIVIL ENGINEERS DOCUMENTATION. **94.55m²** 11.19m² PROPOSED RESIDENCE F.FLOOR BALCONIES 4166 184.10m² TOTAL FLOOR AREA 0.5:1 D.P. 217130 FLOOR SPACE RATIO BRICK RESIDENCE PERMEABILITY 267.35m²(34%) PRIVATE OPEN SPACE (POS) 84.70m2(MIN) TILE RÒOF 8.2m MAX BUILDING HEIGHT BOUNDARY = 41.015m 78°02'20" 4165 D.P. 217130 44.40SQN PRIVATE 40.30SQM BRICK RESIDENCE PRIVATE 76.77SQM •FFL] 28.78 . PROPOSED INGROUND POOL BOUNDARY = 43.730m 272°05'20"= GAR.WINDOW 22260 IRST FLOOR REAR SETBACK 4168 D.P. 217130 2 STOREY CLAD RÉSIDENCE TILE ROÓF No.100

PROPOSED SITE PLAN

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DETACHED DUAL-OCC 102 SANDAKAN ROAD,

LIVINGSTON HOMES

REVESBY HEIGHTS

PROPOSED SITE PLAN

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JULY 2024

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BUILDING DESIGNER

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SPECIFICATIONS

1. EARTHWORKS:

REMOVE ALL BUILDERS MATERIAL. CULTIVATE GARDENS TO A DEPTH OF 200mm. COVER WITH SOIL SUITABLE FOR GENERAL LANDSCAPING RECYCLED PRODUCTS SUCH AS ANL'S NITRO GARDEN MIX, GREEN LIFE MIX etc.

2. GARDEN EDGE:

USE SELECTED PAVES LAID ON CONCRETE FOOTING. PAVES TO BE LAID EVENLY IN STRUCTURE BOND, 10mm JOINTS.

3. PLANTS:

TO BE TRUE TO FORM, FREE FROM DISEASE AND WELL DEVELOPED.

4. MULCH:

USE MULCH THAT MEETS AS4454, 75mm THICH (FOREST BLEND-coarse)

5. DRAINAGE:

REFER TO HYDRAULIC ENGINEERS REPORT.

6. FENCING:

BOUNDARY AND COURTYARD, 1800mm HIGH FENCE.

7. PAVING:

SELECTED HARD PAVING.

8. SUPPORT:

TRELLIS, LATTICE OR WIRE TO BE PUT ON THE FENCE.

LANDSCAPE MAINTENANCE

1. MAINTAIN THE ORIGINAL CHARACTER OF PLANTINGS:

REPLACEMENT OR ADDITIONAL PLANTINGS SHOULD BE CHOSEN FROM THE RANGE OF SPECIES ORIGINALLY PLANTED OR FROM PLANTS SIMILAR IN FORM AND CHARACTER.

2. STRUCTURES:

ORIGINAL GARDEN STRUCTURES, WALLS AND EDGES, SHOULD BE CONSERVED IN THEIR ORIGINAL LOCATIONS AND SHOULD BE REGULARLY CLEANED AND MAINTAINED.

3. VIEWS AND VISTAS:

TO MAINTAIN SIGNIFICANT VIEWS, PRUNE PLANTING AS NECESSARY, BUT NOT BEYOND 20% OF THE CROWN PRUNING OF LARGE TREES SHOULD ONLY BE UNDERTAKEN BY QUALIFIED TREE SURGEON OR ARBORIST.

4. CARE OF LAWNS:

A HEALTH VIGOROUS SWARD OF GRASS IS THE BEST DEFENSE AGAINST PESTS, DISEASE AND WEEDS. GRASS REQUIRES INTENSIVE AND CONTINUAL MAINTENANCE THROUGHOUT THE YEAR INCLUDING MOWING, WATERING, AERATING, FERTILIZING, WEEDING AND CONTROL OF PESTS AND DISEASES.

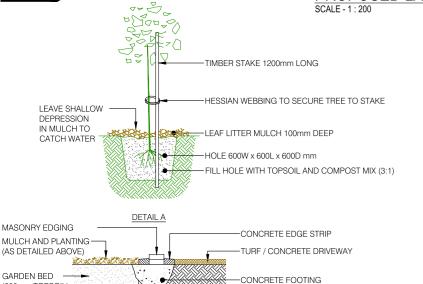
5. CARE OF TREES AND SHRUBS:

- CONTROL SIZE

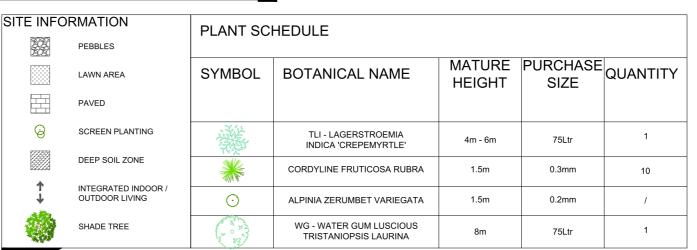
(600mm TOPSOIL)

- IMPROVE SHAPE, FLOWERING AND FRUITING
- REMOVE DISEASED, DEAD AND DANGEROUS MATERIALS.





-EXISTING EARTH



FEMME BUILD

REMODELS ADDITIONS RENOVATIONS

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DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

CLIENT DETAILS

LIVINGSTON HOMES

RAWING TITLE

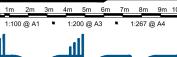
PROPOSED LANDSCAPE PLAN

SK DESIGNED FB



FB
DATE DRAWN
JULY 2024

1:200





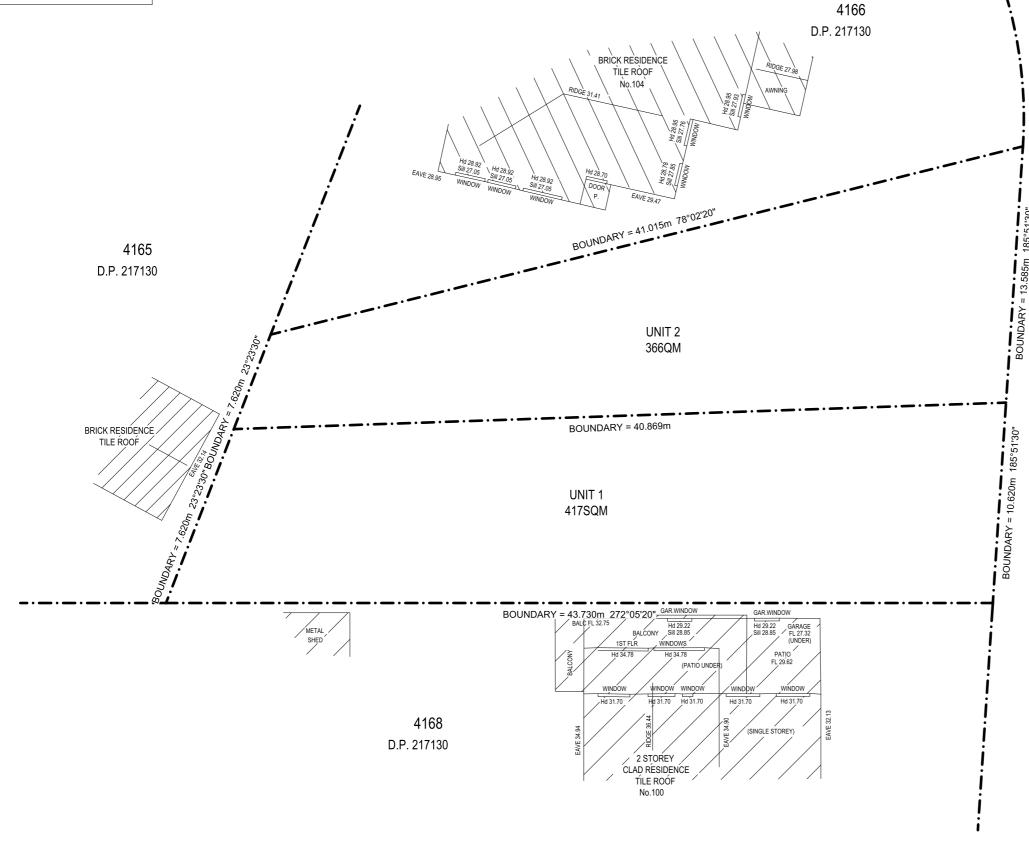
ACCREDITATION NUMBER: 6613 - MEMBER NUMBER 6763-21

PROJECT NUMBER FB0077 DRAWING NUMBER A.01.5

DETAIL B

SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE
 PRIOR TO COMMENCEMENT OF ANY WORK.
 EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED
 AND MADE GOOD AS NECESSARY.
- THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS.
- LOCATIONS.
 THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
 THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO CIVIL ENGINEERS DOCUMENTATION.



PROPOSED CONCEPT SUBDIVISION PLAN

NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS 0403 132 106



03	AS PER COUNCIL REQUIREMENTS	SK	04.11.2024
02	AS PER COUNCIL REQUIREMENTS	SK	04.07.2024
01	DEVELOPMENT APPLICATION	SK	11.04.2023
REV	AMENDMENT DETAILS	BY	DATE

DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

PROPOSED CONCEPT SUBDIVISION PLAN

SK

FB FB

JULY 2024

1:200



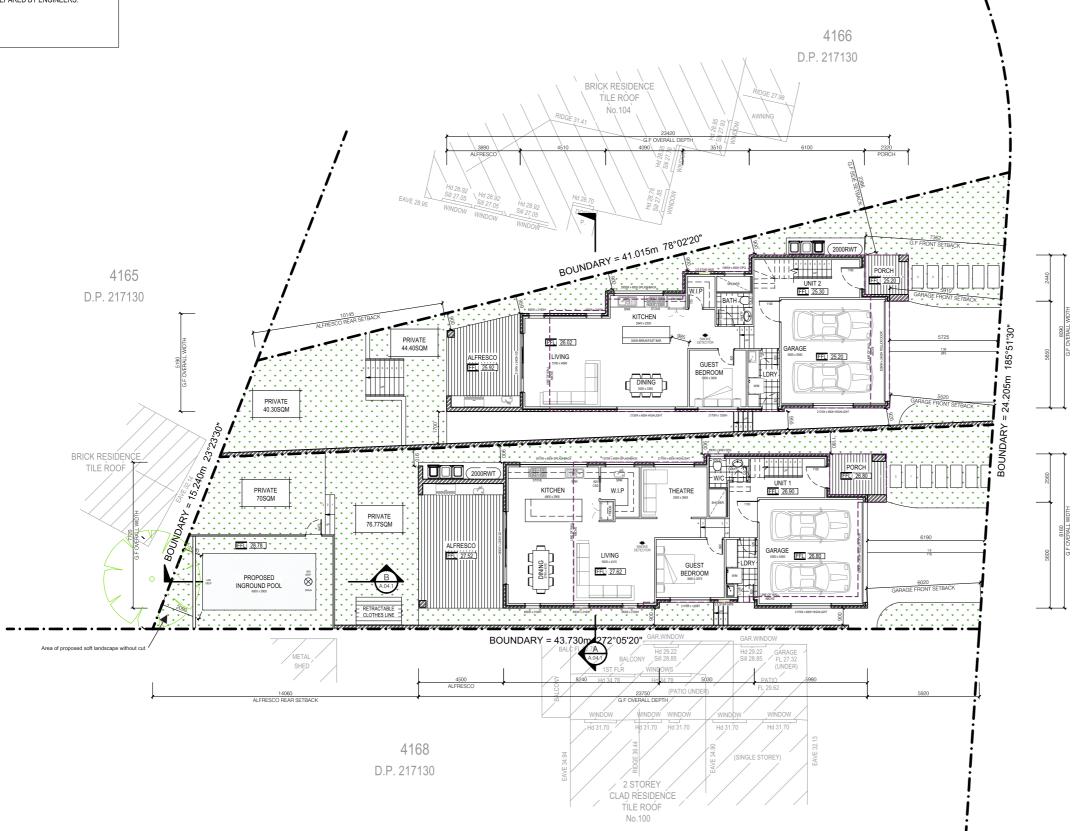
REVISION



FB0077 A.01.6

CONSTRUCTION NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- SUPPLY AND INSTALL 'BIFLEX' CHEMICAL TERMITE TREATMENT (UNLESS OTHERWISE APPROVED) TO COMPLY WITH AS3660.1 AND MANUFACTURER'S
- SPECIFICATIONS
 ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL
- BE IN ACCORDANCE WITH AS3700- MASONRY CODE ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684. - UNLESS OTHERWISE APPROVED
 ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER
- FRAMED CONSTRUCTION
 FOR ALL STRUCTURAL MEMBERS, FOOTINGS, & LOAD BEARING WALLS REFER TO STRUCTURAL DOCUMENTATION PREPARED BY ENGINEERS.





FEMME BUILD

NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS

info@femmebuild.com.au

WALL SCHEDULE

WALL SARKING & BULK INSULATION AS

REQUIRED BY ENERGY ASSESSMENT

BRICK VENEER WALL. SELECTED. EXPOSED FACE BRICK (RE-USE

> INTERIOR FINISH OTHER - PROVIDE FLUSH PLASTER FINISH.

EXTERIOR & INTERIOR TIMBER STUD WALL. SELECTED. HORIZONTAL WEATHERBOARDS

FIXED TO TIMBER STUD. INTERIOR FINISH TO BE FLUSH PLASTERBOARD UNLESS SPECIFIED

RECYCLED BRICK FROM DEMOLITION.

OTHERWISE.



03	AS PER COUNCIL REQUIREMENTS	SK	04.11.2024
02	AS PER COUNCIL REQUIREMENTS	SK	04.07.2024
01	DEVELOPMENT APPLICATION	SK	11.04.2023
REV	AMENDMENT DETAILS	BY	DATE

DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

PROPOSED **GROUND FLOOR PLAN**

SK DESIGNED

FB

FB JULY 2024

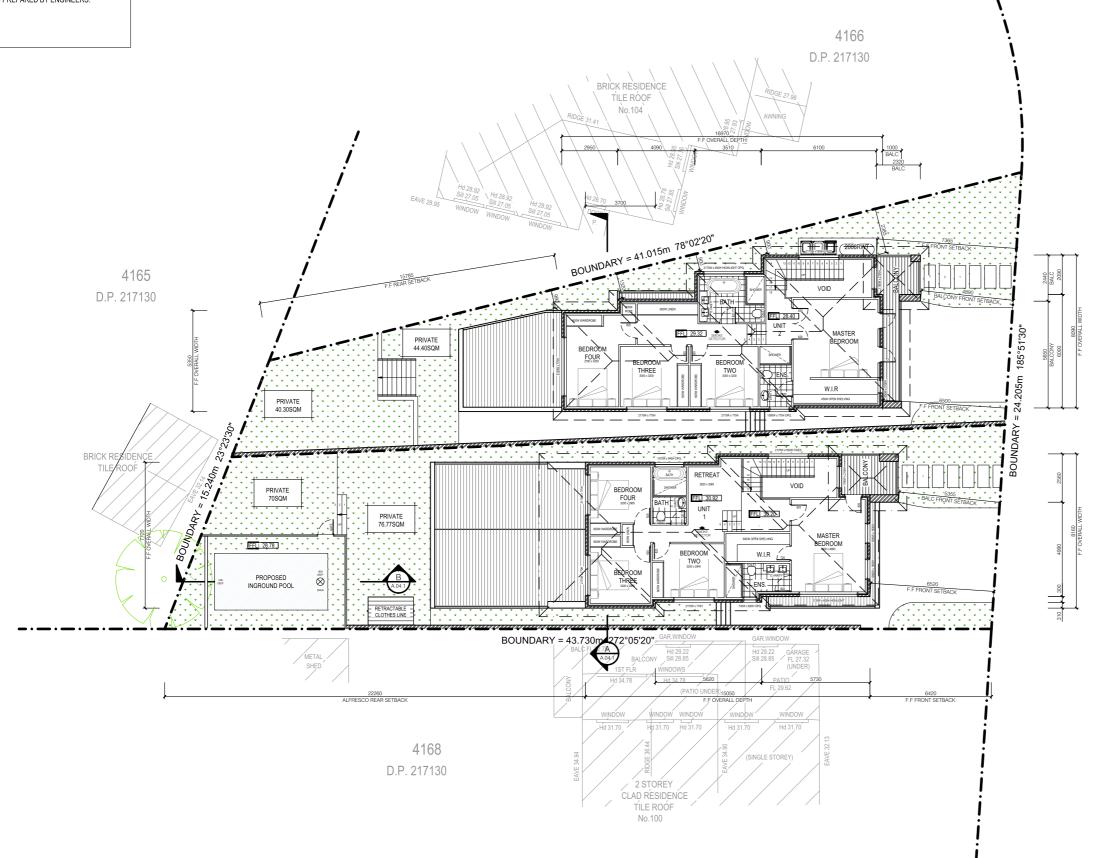
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FB0077 A.02.1

CONSTRUCTION NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- SUPPLY AND INSTALL 'BIFLEX' CHEMICAL TERMITE TREATMENT (UNLESS OTHERWISE APPROVED) TO COMPLY WITH AS3660.1 AND MANUFACTURER'S
- SPECIFICATIONS
 ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL
- BE IN ACCORDANCE WITH AS3700- MASONRY CODE ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684. - UNLESS OTHERWISE APPROVED
 ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER
- FRAMED CONSTRUCTION
 FOR ALL STRUCTURAL MEMBERS, FOOTINGS, & LOAD BEARING WALLS REFER TO STRUCTURAL
 DOCUMENTATION PREPARED BY ENGINEERS.





FEMME BUILD

NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS

info@femmebuild.com.au

WALL SCHEDULE

WALL SARKING & BULK INSULATION AS

REQUIRED BY ENERGY ASSESSMENT

BRICK VENEER WALL. SELECTED. EXPOSED FACE BRICK (RE-USE RECYCLED BRICK FROM DEMOLITION.

INTERIOR FINISH OTHER - PROVIDE FLUSH PLASTER FINISH.

OTHERWISE.

EXTERIOR & INTERIOR TIMBER STUD WALL. SELECTED. HORIZONTAL WEATHERBOARDS

FIXED TO TIMBER STUD. INTERIOR FINISH TO BE FLUSH PLASTERBOARD UNLESS SPECIFIED

03	AS PER COUNCIL REQUIREMENTS	SK	04.11.2024
02	AS PER COUNCIL REQUIREMENTS	SK	04.07.2024
01	DEVELOPMENT APPLICATION	SK	11.04.2023

DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

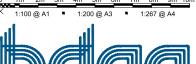
PROPOSED FIRST FLOOR PLAN

SK DESIGNED

FB FB

JULY 2024

1:100

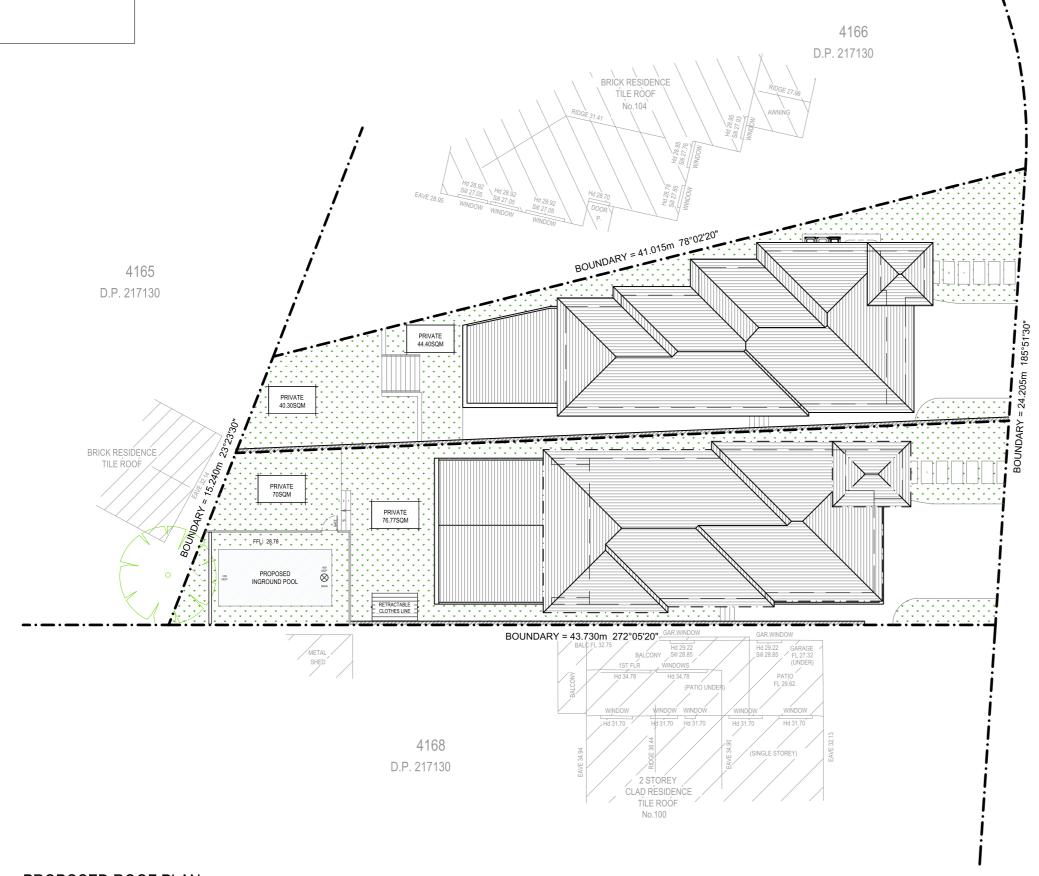


ACCREDITED BUILDING DESIGNER

FB0077 A.02.2

CONSTRUCTION NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- SUPPLY AND INSTALL 'BIFLEX' CHEMICAL TERMITE TREATMENT (UNLESS OTHERWISE APPROVED) TO COMPLY WITH AS3660.1 AND MANUFACTURER'S
- SPECIFICATIONS
 ALL BRICKWORK (INCLUDING BRICK VENEER) SHALL
- BE IN ACCORDANCE WITH AS3700- MASONRY CODE
 ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684. - UNLESS OTHERWISE APPROVED
 ROOF FRAMING SHALL BE OF TRADITIONAL TIMBER
- FRAMED CONSTRUCTION
 FOR ALL STRUCTURAL MEMBERS, FOOTINGS, & LOAD BEARING WALLS REFER TO STRUCTURAL
 DOCUMENTATION PREPARED BY ENGINEERS.



PROPOSED ROOF PLAN

NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS 0403 132 106



03	AS PER COUNCIL REQUIREMENTS	SK	04.11.2024
02	AS PER COUNCIL REQUIREMENTS	SK	04.07.2024
01	DEVELOPMENT APPLICATION	SK	11.04.2023
REV	AMENDMENT DETAILS	BY	DATE

DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

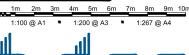
PROPOSED **ROOF PLAN**

SK FB

FB

JULY 2024

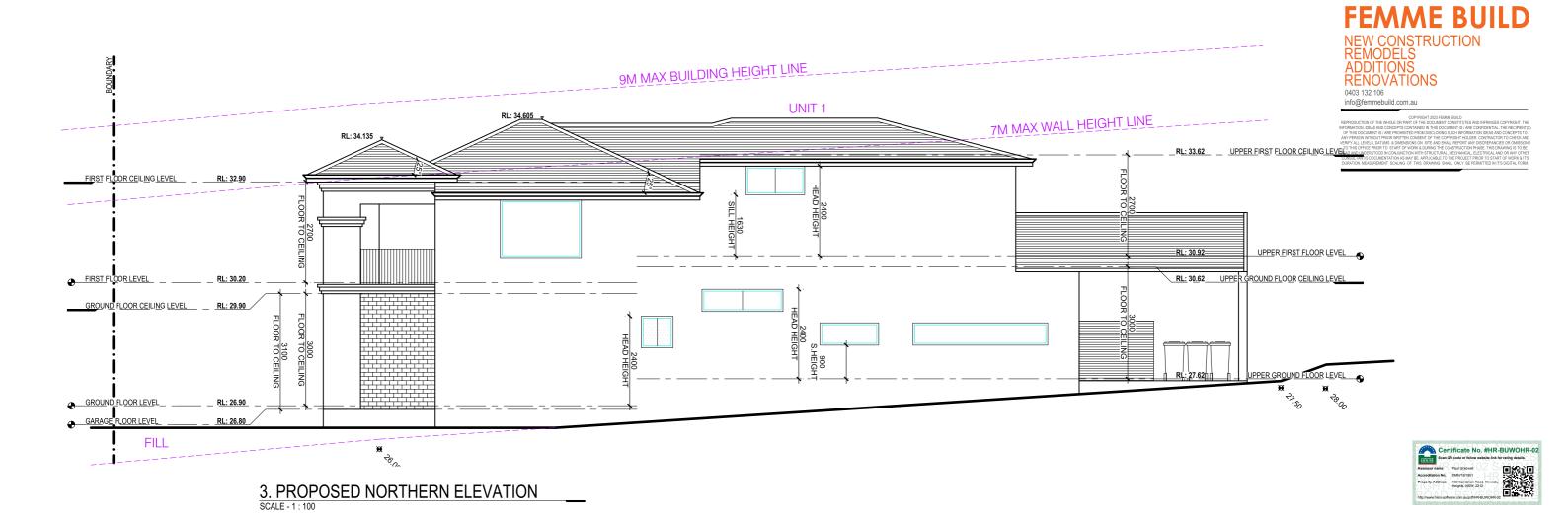
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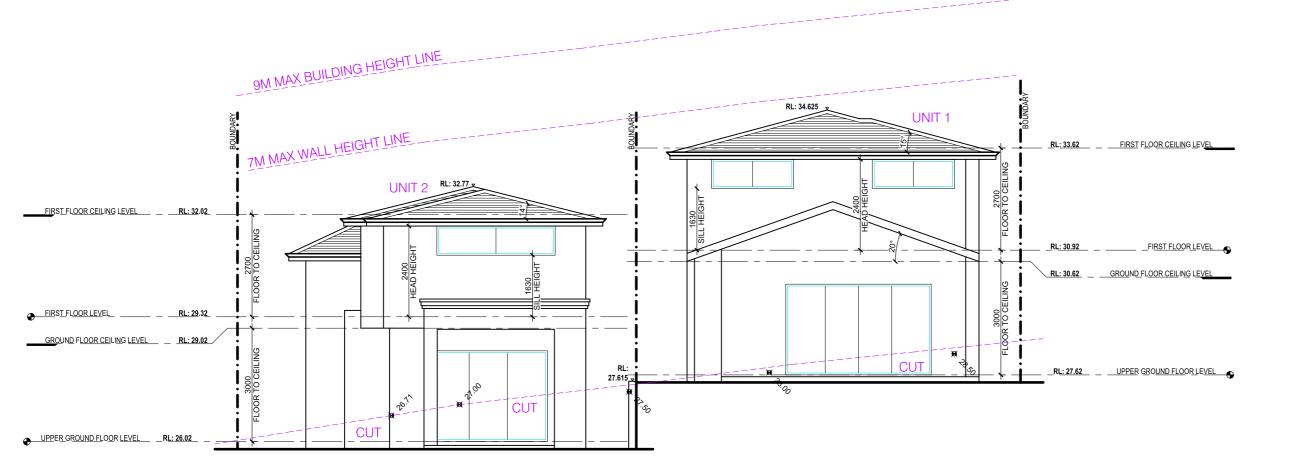




FB0077 A.02.3

FEMME BUILD NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS 9M MAX BUILDING HEIGHT LINE info@femmebuild.com.au 7M MAX WALL HEIGHT LINE RL: 34.135 UPPER FIRST FLOOR CEILING LEVEL RL: 33.62 __ FIRST FLOOR CEILING LEVEL 2700 FLOOR TO CEILING RL: 31.95 ■ UPPER FIRST FLOOR LEVEL UPPER GROUND FLOOR CEILING LEVEL RL: 30.62 RL: 30.20 _ _ _ FIRST FLOOR LEVEL 2400 HEAD HEIGHT RL: 29.90 _ GROUND FLOOR CEILING LEVEL CUT UPPER GROUND FLOOR LEVEL RL: 26.90 _ _ _ GROUND FLOOR LEVEL _ 1. PROPOSED SOUTHERN ELEVATION GARAGE FLOOR LEVEL 9M MAX BUILDING HEIGHT LINE AS PER COUNCIL REQUIREMENTS RL: 34.605 UNIT 1 DEVELOPMENT APP. DETACHED DUAL-OCC UNIT 2 102 SANDAKAN ROAD, FIRST FLOOR CEILING LEVEL RL: 32.90 REVESBY HEIGHTS RL: 32.21 LIVINGSTON HOMES RL: 31.30 FIRST FLOOR CEILING LEVEL PROPOSED **ELEVATIONS 1 & 2** 2700 LOOR TO CEILING FIRST FLOOR LEVEL ____ SK GROUND FLOOR CEILING LEVEL RL: 29.90 DESIGNED FB RL: 28.60 FIRST FLOOR LEVEL FB RL: 28.30 GROUND FLOOR CEILING LEVEL JULY 2024 1:100 3100 FLOOR TO CEILING 3000 FLOOR TO CEILING ● GROUND FLOOR LEVEL GARAGE FLOOR LEVEL GROUND FLOOR LEVEL _RL: 25.30 GARAGE FLOOR LEVEL RL: 25.20 ACCREDITED **BUILDING DESIGNER** Certificate No. #HR-BUWOHR-02 2. PROPOSED EASTERN ELEVATION REVISION FB0077 A.03.1





4. PROPOSED WESTERN ELEVATION

ACCREDITATION NUMBER: 6613 - MEMBER NUMBER 6763-21

ACCREDITED

BUILDING DESIGNER

1:100

PROJECT NUMBER FB0077 DRAWING NUMBER A.03.2

AS PER COUNCIL REQUIREMENTS

DEVELOPMENT APP.

LIVINGSTON HOMES

ELEVATIONS 3 & 4

PROPOSED

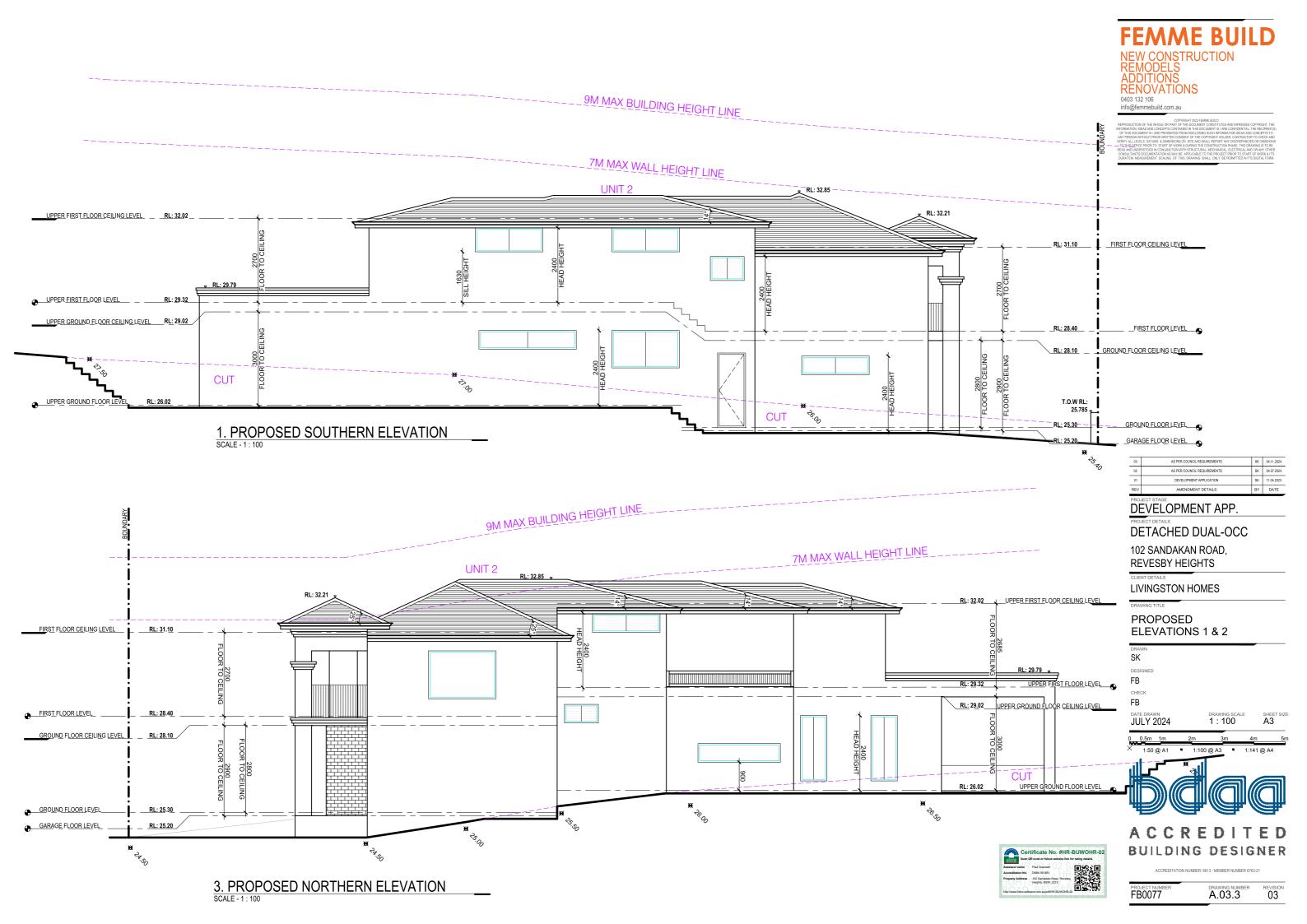
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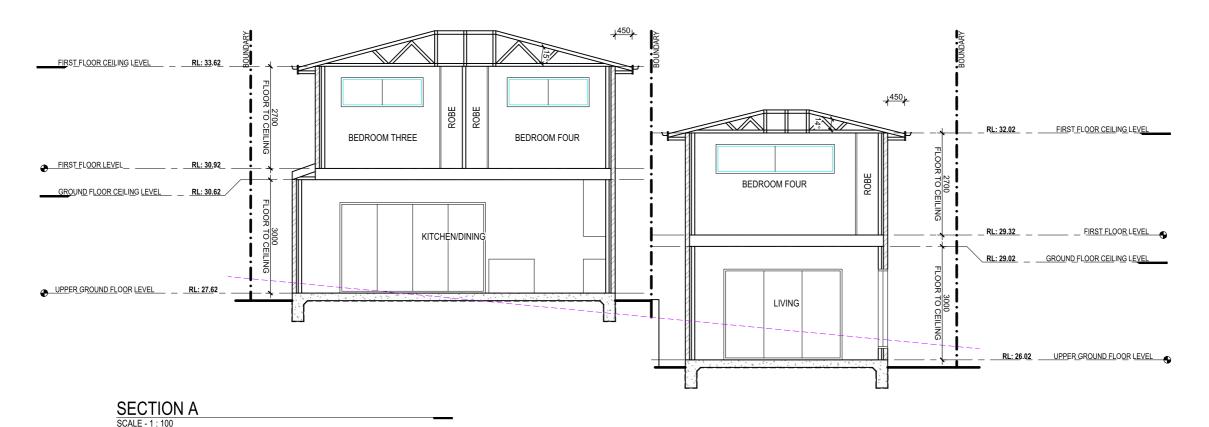
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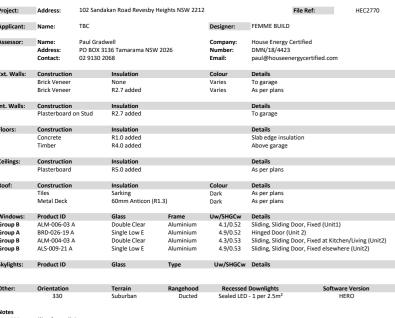
JULY 2024

DESIGNED FB

DETACHED DUAL-OCC 102 SANDAKAN ROAD, REVESBY HEIGHTS

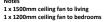


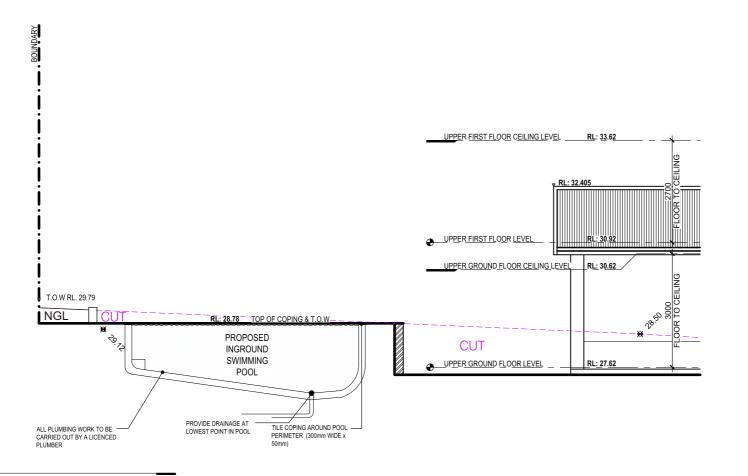




SECTION B

SCALE - 1:100





NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS

info@femmebuild.com.au



03	AS PER COUNCIL REQUIREMENTS	SK	04.11.2024
02	AS PER COUNCIL REQUIREMENTS	SK	04.07.2024
01	DEVELOPMENT APPLICATION	SK	11.04.2023
REV	AMENDMENT DETAILS	BY	DATE

DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

PROPOSED **SECTION & DETAILS**

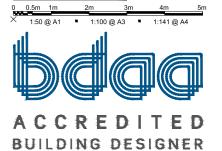
SK DESIGNED

FB

FB

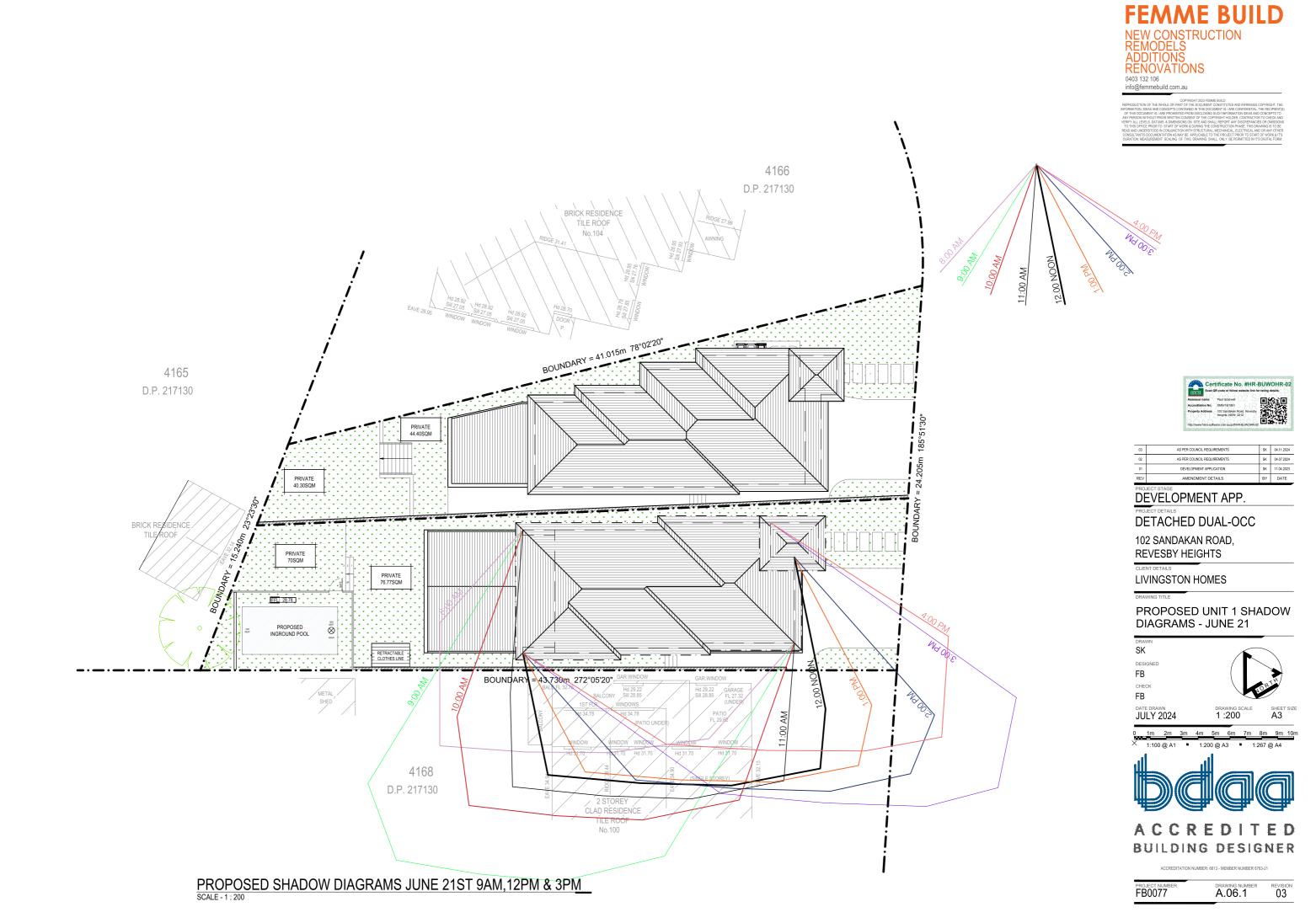
JULY 2024

AS SHOWN A3



ACCREDITATION NUMBER: 6613 - MEMBER NUMBER 6763-21

FB0077 A.04.1



NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS 0403 132 106 info@femmebuild.com.au 4166 D.P. 217130 BRICK RESIDENCE TILE ROOF Wd 00:E No.104 11:00 AM BOUNDARY = 41.015m 78°02'20" 4165 D.P. 217130 PRIVATE 44.40SQM AS PER COUNCIL REQUIREMENTS PRIVATE 40.30SQM DEVELOPMENT APP. DETACHED DUAL-OCC BRICK R 102 SANDAKAN ROAD, REVESBY HEIGHTS PRIVATE 70SQM PRIVATE 76.77SQM LIVINGSTON HOMES FFL 28.78 PROPOSED UNIT 2 SHADOW DIAGRAMS - JUNE 21 SK FB BOUNDARY = 43.730m 272°05'20" FB JULY 2024 1:200 4168 D.P. 217130 2 STOREY CLAD RESIDENCE TILE ROÓF ACCREDITED No.100 BUILDING DESIGNER PROPOSED SHADOW DIAGRAMS JUNE 21ST 9AM,12PM & 3PM FB0077 A.06.2

FEMME BUILD

The commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(I) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifie check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant Indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "indigenous applied" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Yere of garden and lawn" for the dwelling apposition in the "Description of Project" table).	>	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
(d) The applicant must install an on demand not water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		¥	~
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW redroulation or diversion" column of the table below; and		~	~
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 libres. The applicant must connect the hot water diversion tank to all tollets in the dwalling.		~	V
(e) The applicant must not install a private ewimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	V	
(f) if specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
(g) The pool or spa must be located as specified in the table.	>	V	
h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the stress specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified, Each system must be connected as specified.	V	~	~

Excelling 190	All phowor- heads	All torics furthing systems		All bullincem tops	HW restrectsfrom er diversion	All crolling washers	All diefn- resolution	Violence (inco. volume)	Parti	Previ leastern	Provi plastral	Volume imax solume)	Spe	Spe alimbet
	4 star (> 6 but <= 7.5 L/min)	4 ator	4 star	4 star			-	32	no	outdoors	no		-	-
dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	4 ster									-	

Divelling ms.	Alternative water supply apoleme	Siza	Stantiguration	Landinage commenter	Total comments (cf.	on Commi	ing satisan	Panil Sep- op	Spartage up
All dwellings	Individual water tank (No. 1)	Tenk size (min) 2000 liters	To collect run-off from at least: 118 square metres of roof area; 0.00 square metres of impervious area; 0.00 square metres of garden and lawn area; and o square metres of planter box area.	уов	no	yos		no	no
All dwellings	No alternative water supply		•			-			
								Certifier check	
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.									
(b) The applicant must hatall each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that cannot system.							~		
(c) The applica	rit must install, in each bathr blow. Each such ventilation s	oom, kitchen and ystem must have	laundry of the dwelling, the ventilation system spec the operation control specified for it in the table.	cified for that ro	om in			~	~

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier
(d) The applicant must install the cooling and heating system's specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, rifter it asset 1 inhtheticon area of the dwelling. If no cooling or heating system is specified in the table for "Living area" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylinght zoning between living areas and bedrooms.		~	~
(e) This commitment applies to each room or area of the develop which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that froom or area). The applicant must answer that the "primary type of artificial lighting" for each such more in the develling is incursecent lighting or light entiting discle (LED) lighting. If the sum "decidented" is a specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light entiting device (LED) lighting.		~	•
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below four only to the eather specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	~	~	~
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spe. The applicant must:			
(as) install the system specified for the pool in the "individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and		~	
(bb) install the system specified for the spa in the "individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.	l	•	
(h) The applicant must install in the dwelling:			
 (as) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; 	1	~	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		~	~
(cc) any clothos drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		~	
(f) if specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		~	
(f) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	V	V	V

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Davilling res.	Hatronian ayatam	Dank bellmowen	Operation control	I keele Missioon	Openinters apprical	Facin beautify	Operation control
All dwellings		individual fan, ducted to façada or roof		Individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

iii) Thermal Performance	Show on DA plans	Show on CC/CDC plans & specs	Gertifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	~		
(a) The applicant must show on the plans accompanying the application for a construction cortificate (or complying development conflictute, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		~	
(f) The applicant must construct the development in accordance with all thermal performance specifications set cut in the Assessor Conflicate, and in accordance with those aspects of the development application or application for a complying development conflicate which were used to calculate those specifications.		~	~
(g) Where there is an in-slab heating or cooling system, the applicant must:	~	~	~
(as) install insulation with an R-value of not less than 1.0 around the vartical edges of the perimeter of the slab; or	l		l
(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	V	V	V
 The applicant must show on The plans accompanying The development application for The proposed development, The locations of coiling fane set out in The Assessor Certificate. 	V		
(i) The applicant must show on the plane accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		V	

		Thermal loads	
Evelling ma.	Area acjusted heating load (in MJinf8gf)	Area adjusted excling land (in MJ/m/lyr)	A en adjuster total load (in MJ/n/Syr)
1	19.3	10.5	29.800
All other dwellings	20.1	9.9	30.000

All other dwellings	88			24	no
1	99	-	I-	24	no
Excelling no.	Concrete also on ground (in)	Supported Footwith open and learning	Surpended fleer with enclosed and for ignif	Suspended floor above garage (m²)	Primerily rammad sorth at muchoick walls
			Construction of floors and wa	ills	

~

(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protoco (c) The dotails of the proposed development on the Assessor Certificate must be consistent with the details shown in the Thermal Loads' table below. Loads' and the John Certificate, including the details shown in the Thermal Loads' table below.

(bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimoter of the slab.

ASIX Department of Planning and Environment www.basbunsw.gov.au Version: 4.02 / EUCALYPTUS_03_01_0 Cartifloste No.: 1746417M Monday, 29 April 2024

ı	(0)	the table below. Each such ventilation syst	em must have the operati	on control specified for it in the table.		~
╝						
В	BASIX	Department of Planning and Environment	www.basix.nsw.gov.au	Version: 4.02 / EUCALYPTUS_03_01_0	Certificate No.: 1745417M	Monday, 29 April 20

l) Water		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
 if, in carrying out the development, the applicant installs a shower item must meet the specifications listed for it in the table. 	d, toilet, tap or clothes washer into a common area, then the	1	~	~
b) The applicant must install (or ensure that the development is service "Central systems" column of the table below. In each case, the specified in the table.		~	~	~
 A swimming pool or spa listed in the table must not have a volume table. 	k(.s) greater than that specified for the pool or spe in the	~	-	
d) A pool or spa listed in the table must have a cover or shading if sp	fied for the pool or spa in the table.	Т	V	
e) The applicant must install each fire sprinkler system listed in the ta	e so that the system is configured as specified in the table.		~	~
f) The applicant must ensure that the central cooling system for a coo	g lower is configured as specified in the table.		~	~

(II) Energy		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
	xt the development, the applicant installs a ventilation system to service a common area specified in lation system must be of the type specified for that common area, and must meet the efficiency meas		~	~
In the table belo	the development, the applicant must install, as the "primary type of artificial lighting" for each commo low, the lighting specified for that common area. This lighting must meet the efficiency measure spec also install a centralised lighting control system or Building Management System (BMS) for the com d.	fied. The	*	*
	must install the systems and fixtures specified in the "Central energy systems" column of the table be on or fixture must be of the type, and meet the specifications, listed for it in the table.	iow. In each	~	v

2. Commitments for single dwelling houses			
a) Dwellings			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and learn" for the dwelling specified in the "Description of Project Tables".	•	~	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		v	V
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		V	~
(a) The applicant must install:			
(as) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		~	~
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all foliats in the dwelling.			~
(a) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	~	
(f) if specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		v	
(g) The pool or spa must be located as specified in the table.	V	V	
(a) The applicant must leafs, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect nun-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	~	•	•
(II) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(a) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that systam. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system, so that the dwelling's hot water is supplied by that central system.	~	~	~

(II) Energy	Show on DA plens	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system's specified for the deviling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "fleating" columns in the table below, silver at least I introplection areas of the deviling, if no cooling or heating system is specified in the table for "Living rease" or "Bedroom areas", then no systems may be installed in any such areas. If the term "coned" is specified beside an air conditioning system, then the system must provide for depringing zoning between living areas and bedrooms.		•	~
(e) This commitment applies to each room or rare of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the action specified for that room or area). The applicant must ensure that the "primary type or artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diods (LED) lighting. If the term "declicated" is specified for a particular room or area, both to light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diods (LED) lighting.		•	*
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent appoilted for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or adylight.	>	~	>
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must:			
(as) Install the system specified for the pool in the "individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pools pump; and		•	
(bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		~	
(h) The applicant must install in the dwelling:			
(as) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		~	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		~	
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		•	
(i) if specified in the table, the applicant must carry out the development so that each refrigerator space in the dwalling is "well ventilated".		~	
(i) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	V	•	V
(III) Thermal Parformance	Show on DA plans	Show on CC/CDC plans & specs	Certifler check
(a) The applicant must allator the certificate referred to under "Assessor cleatial" or the forci page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development. In this applicant in application, The applicant must also allates the Assessor Certificate to the secondization for in fairs obscarable to the proposed development.			

03	AS PER COUNCIL REQUIREMENTS	SK	04.11.2024
02	AS PER COUNCIL REQUIREMENTS	SK	04.07.2024
01	DEVELOPMENT APPLICATION	SK	11.04.2023
REV	AMENDMENT DETAILS	BY	DATE

FEMME BUILD

NEW CONSTRUCTION REMODELS ADDITIONS RENOVATIONS

0403 132 106 info@femmebuild.com.au

DEVELOPMENT APP.

DETACHED DUAL-OCC

102 SANDAKAN ROAD, REVESBY HEIGHTS

LIVINGSTON HOMES

PROPOSED **BASIX COMMITMENTS**

SK FB

FB

JULY 2024

NTS



BUILDING DESIGNER ACCREDITATION NUMBER: 6613 - MEMBER NUMBER 6763-21

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